



CITY OF PACIFIC GROVE
300 Forest Avenue, Pacific Grove, California 93950

AGENDA REPORT

TO: Chair Boyle and Members of the Architectural Review Board

FROM: Alyson Hunter, Associate Planner

MEETING DATE: June 11, 2019

SUBJECT: Architectural Permit (AP) 19-0217 for the construction of a new, one-story 3,349 sf residence. No trees are proposed to be removed.

ADDRESS: 510 Evergreen Road (APN 006-422-022)

**ZONING/
LAND USE:** R-1-B-3/Low Density to 5.4 DU/AC

APPLICANT: Doug Howe, architect, on behalf of Andy & Anne Marie Miller, owners

CEQA: Categorical Exemption, Section 15303(a), New Construction

RECOMMENDATION

Approve the proposed Architectural Permit subject to the required findings, conditions of approval and a Section 15303(a) CEQA categorical exemption for new residential construction.

BACKGROUND

On April 2, 2019, the owners submitted an application for the development of a new single-family residence on a vacant 13,475 sf lot. There are several large oak trees on the property that are proposed to be retained. A Tree Resource Assessment (Ono, April 2019) was prepared to address tree protection requirements. These requirements have been included as conditions of approval.

SURROUNDING LAND USES

The property is located in the Pacific Grove Acres neighborhood and is surrounded by large lots on all sides and the railroad right-of-way trail along the rear property line. The property is relatively flat and will be served by public utilities including water once available.

DISCUSSION

Applicable General Plan Policies

The Pacific Grove General Plan provides a framework for future growth and development within the City. The Land Use Element includes goals and policies that call for the orderly, well-planned, and balanced development, consistent with the historic nature of Pacific Grove, the capacity of the City's infrastructure, and ability to assimilate new growth. This residential project helps the City achieve several of its housing goals as stated in the General Plan and is in compliance with the Residential Low Density land use designation.

Applicable Zoning Code Regulations

General Plan policies are implemented through the R-1-B-3 zoning district which allows single-family residential development in areas with adequate public services.

The proposed project is in full compliance with the zoning regulations set forth in PGMC [23.16](#) (R-1) and the [B-3](#) combining zone. This includes and is not limited to the height limit, setback requirements, gross floor area and allowable site coverage. The project is also in compliance with the parking standards for single-family residential development in PGMC Section [23.16.070](#) which requires two (2) covered parking spaces. This project provides an attached two-car garage.

Architecture and Design Consideration

The proposed one-story residence will be of a contemporary style with a 1:12 pitch shed-style roof system with a maximum height on the south elevation of 20'5" above finished grade. Exterior finishes include plaster, dark bronze aluminum windows and doors, horizontal wood siding, stainless steel cable balcony rails, and redwood soffits.

Although the proposed modern style is different from many of the houses in the neighborhood which was primarily developed in the first half of the last century, the size, placement and siting of the residence on the parcel are generally in conformance to the Scale and Rhythm of Streetscape section of the Design Guidelines, and particularly Guideline No. 1 relating to mass and scale, and Guideline No. 23 for the protection of existing trees.

Landscape & Lighting

The project includes landscaping and exterior lighting as shown on the plans. In conformance to the Design Guidelines, the project seeks to preserve significant trees by retaining the two large existing trees and all exterior lighting fixtures shall conform to Architectural Design Guidelines #10-12.

Tree Protection

Although no trees are proposed to be removed, there are several large oaks on the property that may need minor trimming, but will be retained. The house was sited specifically to minimize potential impacts to the trees. The recommendations of the Tree Resource Assessment (Ono, April 2019) are included in the conditions of approval.

Stormwater Treatment Measure

In accordance to the City's National Pollution Discharge Elimination Permit issued by the State Water Board, single-family residences that create and/or replace more than 2,500 square feet (Tier 1) of impervious surface, shall implement the following Low Impact Development (LID) measures:

- Limit disturbance of natural drainage features
- Limit clearing, grading, and soil compaction
- Minimize impervious surfaces
- Minimize runoff by dispersing runoff to landscape or using permeable pavements

The project includes a landscape plan that shows how much of the site will remain in a natural condition and includes a diagram of pervious surface run-off directed to a dispersion area on the west side of the property. City staff shall be allowed access to inspect all stormwater treatment measures on an annual basis.

Water

City entitlement water is expected to be available for purchase in summer 2019. In accord with the State Water Control Board’s Cease and Desist Order against California-American Water Company, eligible applicants must have an existing water meter in order to develop a new water use on their property.

CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA)

In reviewing this action, the City has followed guidelines adopted by the State of California as published in California Administrative Code, Title 14, §15000, et seq. The proposed project is found to be exempt under the CEQA Guidelines Categorical Exemption, Section 15303(a), Class 3, New Construction.

Class 3 consists of construction and location of limited numbers of new, small facilities or structures; installation of small new equipment and facilities in small structures; and the conversion of existing small structures from one use to another where only minor modifications are made in the exterior of the structure. The numbers of structures described in this section are the maximum allowable on any legal parcel. Examples of this exemption include but are not limited to: (a) One single-family residence, or a second dwelling unit in a residential zone. In urbanized areas, up to three single-family residences may be constructed or converted under this exemption.

This Class of exemption is subject to exceptions from the exemption under [15300.2](#) of the CEQA Guidelines pertaining to location, cumulative impacts, significant effects, scenic highways, hazardous waste sites, and historical resources. Staff finds that none of these exceptions applies and that the proposed project qualifies for the Class 3 exemption.

ATTACHMENTS

- A. Application
- B. Project Data Sheet
- C. Draft Permit
- D. CEQA Documentation
- E. Tree Assessment (Ono, April 2019)
- F. Site Plan & Elevations

RESPECTFULLY SUBMITTED:

Alyson Hunter

Alyson Hunter
Associate Planner



CITY OF PACIFIC GROVE

Community Development Department – Planning Division

300 Forest Avenue, Pacific Grove, CA 93950

Tel: 831.648.3190 • Fax: 831.648.3184 • www.cityofpacificgrove.org/cedd

Permit Application

Application # AP 19-0217

Date: _____

Total Fees: \$3,438.85

510 Evergreen

Project Address: _____

APN: 006-422-022

Project Description: CONSTRUCT NEW ONE-STORY SINGLE-FAMILY RESIDENCE ON A VACANT LOT

Will the project create, add, or replace impervious surface? Yes No

Will the project impact any tree(s) on site? Yes No

Applicant

Owner

Name: ANNE MARIE + ANDREW MILLER

Name: SAME

Phone: 831 915 0797

Phone: _____

Email: annemariamiller@gmail.com

Email: _____

Mailing Address: 510 EVERGREEN RD.
PACIFIC GROVE, CA 93950

Mailing Address: _____

Permit Request:

- | | | | |
|--|---|--|---|
| <input type="checkbox"/> CRD: Counter Determination | <input type="checkbox"/> SP: Sign Permit | <input type="checkbox"/> IHS: Initial Historic Screening | <input type="checkbox"/> VAR: Variance |
| <input checked="" type="checkbox"/> AP: Architectural Permit | <input type="checkbox"/> UP: Use Permit | <input type="checkbox"/> HPP: Historic Preservation | <input type="checkbox"/> MMP: Mitigation Monitoring |
| <input type="checkbox"/> AAP: Administrative AP | <input type="checkbox"/> AUP: Administrative UP | <input type="checkbox"/> A: Appeal | <input type="checkbox"/> Stormwater Permit |
| <input type="checkbox"/> ADC: Arch Design Change | <input type="checkbox"/> ADU: Acc. Dwelling Unit | <input type="checkbox"/> TPD: Tree Permit W/ Dev't | <input type="checkbox"/> Other: _____ |
| <input type="checkbox"/> ASP: Admin Sign Permit | <input type="checkbox"/> LLA: Lot Line Adjustment | <input type="checkbox"/> EIR: Environmental Impact | <input type="checkbox"/> Other: _____ |

CEQA Determination:

- Exempt
 Initial Study & Mitigated Negative Declaration
 Environmental Impact Report

Review Authority:

- Staff HRC
 ZA PC
 SPRC CC
 ARB _____

Active Permits:

- Active Planning Permit
 Active Building Permit
 Active Code Violation
 Permit #: _____

Overlay Zones:

- Butterfly Zone
 Coastal Zone
 Area of Special Biological Significance (ASBS)
 Environmentally Sensitive Habitat Area (ESHA)

Property Information

Lot: 3

Block: 118

Tract: Vol. 18 SurMaps

ZC: R-1-B-3

GP: LD 5.4 du/ac

Lot Size: 30,785.29 ± (prior to subd.)

Historic Resources Inventory

RECEIVED Archaeologically Sensitive Area

Staff Use Only:

Received by: _____

Assigned to: _____

APR 02 2019
 CITY OF PACIFIC GROVE
 COMMUNITY DEV DEPT

\$ PAID
3,438.85
 4-2-19

Application # _____

INDEMNIFICATION CONDITION

In consideration for City review and approval of application in this matter, the Owner/Applicant shall indemnify, defend, protect and hold harmless the City, its elected and appointed officials, officers, agents, and employees (collectively "Indemnitees"), using counsel approved in writing by the City, from and against, any and all liabilities, claims, actions, causes of action, proceedings, suits, damages, judgments, liens, levies, costs and expenses of whatever nature, including reasonable attorneys' fees and disbursements which may accrue against Indemnitees by reason of the City's processing, approval or denial of the request and application in this matter. Indemnification shall include, but shall not be limited to any action, or proceeding brought to attack, set aside, void, annul, limit, or inhibit the approval of the application referenced above, and shall expressly include causes of action under the California Environmental Quality Act (CEQA), or the National Environmental Policy Act (NEPA).

The obligation to indemnify shall include, but not be limited to, all costs relating to preparing administrative records, investigations, responses to discovery, retention of experts, and other costs, including attorney's fees or obligations related to this matter, including actions brought by the Owner/Applicant and also extend to any expense incurred in establishing the City's right to indemnification. City expenses shall be paid by Owner/Applicant upon City request notwithstanding final disposition of the matter has not yet occurred. If the City is later determined to not be entitled to indemnification, the City shall repay amounts so advanced.

This indemnification condition is the Owner/Applicant's inducement to the City to process and approve the application, which approval would otherwise be withheld by City due to its concern for liability or expense that may result from performance of the City's duties. Should any dispute arise regarding interpretation of this condition, the prevailing party shall recover all reasonable costs incurred, including court costs, attorney fees and related expenses. Recovery of expenses shall be as additional costs awarded to the prevailing party, and shall not require initiation of a separate legal proceeding.

This indemnification condition shall not require the Owner/Applicant to indemnify the City or other Indemnities: (a) to the extent that an obligation is actually paid by an insurer pursuant to an insurance policy; (b) in connection with any remuneration paid to the City, if it shall be finally adjudged that such remuneration was in violation of law; or (c) on account of the City's misconduct if such misconduct shall be finally adjudged to have been knowingly fraudulent, deliberately dishonest or willful.

Any permit or other approval given by the City to the Owner/Applicant Guarantor shall be valid only so long as this indemnification condition is given full force and effect. If this indemnification condition is revoked, the permit or other approval of the City shall then become null and void.

Owner/Applicant represents it (and any subsidiary) is (a) duly formed and organized, (b) validly existing and in good standing under state law, and (c) has all necessary power to execute and deliver this document and perform its obligations. Owner/Applicant also represents it is authorized to enter into this agreement by all requisite partnership, corporate or other action, and its terms are a valid and legally binding obligation. Neither execution nor delivery of this document nor performance of its obligations will violate any law or provision of any agreement, articles of incorporation, by-laws or other organizational or governing documents relating to Owner/Applicant, nor conflict with any court order relating to Owner/Applicant.

Applicant Signature: Ann Marie Hill Date: 4.2.2019
Owner Signature (Required): Ann Marie Hill Date: 4.2.2019



CITY OF PACIFIC GROVE

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Application # AP

Planning Permit Fee Calculation

Permit	Select	Fee
Architectural Permit – Single Family	<input checked="" type="checkbox"/>	\$2,921
Administrative Architectural Permit	<input type="checkbox"/>	\$1,406
Architectural Design Change	<input type="checkbox"/>	\$1,406
Counter Review & Determination – no new square footage	<input type="checkbox"/>	\$136
Counter Review & Determination – new square footage	<input type="checkbox"/>	\$603
Initial Historic Screening	<input type="checkbox"/>	\$432
Sign Permit	<input type="checkbox"/>	\$1,611
Administrative Sign Permit	<input type="checkbox"/>	\$788
Use Permit and Amendments – Single Family	<input type="checkbox"/>	\$1,753
Major Administrative Use Permit	<input type="checkbox"/>	\$1,133
Minor Administrative Use Permit	<input type="checkbox"/>	\$1,147
Variance and Amendment	<input type="checkbox"/>	\$2,438
Administrative Variance and Amendment	<input type="checkbox"/>	\$1,363
Inquiry Fee	<input type="checkbox"/>	\$320
Historic Preservation Permit	<input type="checkbox"/>	\$1,660
Accessory Dwelling Unit Permit	<input type="checkbox"/>	\$1,706
Tree Permit with Development	<input type="checkbox"/>	\$260
Appeal	<input type="checkbox"/>	25% of base permit fee or \$1,000 whichever is greater plus noticing costs
Other	<input type="checkbox"/>	

Additional Fees

General Plan Update Fee	5% of Permit Fee	<input checked="" type="checkbox"/>	146.05
CEQA Exemption Fee	\$266	<input checked="" type="checkbox"/>	266.00
Butterfly Buffer Zone	5% of Permit Fee	<input type="checkbox"/>	
Coastal Zone	25% of Permit Fee	<input type="checkbox"/>	
Area of Special Biological Significance	5% of Permit Fee	<input type="checkbox"/>	
Environmentally Sensitive Habitat Area	15% of Permit Fee	<input type="checkbox"/>	
Noticing – Mailings	\$0.48 * (# of Mailings)	<input checked="" type="checkbox"/>	4.80
Noticing – Herald Ad	\$334	<input type="checkbox"/>	
Stormwater Fee	Varies	<input checked="" type="checkbox"/>	50.00
County filing fee	Varies	<input checked="" type="checkbox"/>	51.00
File maintenance fee	Varies	<input type="checkbox"/>	
Other	Varies	<input type="checkbox"/>	

Total Fees: \$3,438.85

PROJECT DATA SHEET

Project Address: Evergreen Road **Submittal Date:**

Applicant(s): Dan Fletcher

Permit Type(s) & No(s):

	REQUIRED/ Permitted	Existing Condition	Proposed Condition	Notes
Zone District	R-1-B-3	R-1-B-3	R-1-B-3	No Change
Building Site Area	13,475 S.F.	13,475 S.F.	13,475 S.F.	No Change
Density (multi-family projects only)				
Building Coverage	5,390 S.F.	0 S.F.	3,349 S.F.	+ 3,349 S.F.
Site Coverage	8,085 S.F.	0 S.F.	5,309 S.F.	+5,309 S.F.
Gross Floor Area	4,417 S.F.	0 S.F.	2,809 S.F.	+2,809 S.F.
Square Footage not counted towards Gross Floor Area	-	0 S.F.	0 S.F.	No Change
Impervious Surface Area Created and/or Replaced (EXCLUDES BLDGS)	-	0 S.F.	1,960S.F.	+1,960 S.F. (INCLUDES DECKS)
Exterior Lateral Wall Length to be demolished in feet & % of total*		0	0	
Exterior Lateral Wall Length to be built			110 L.F.	
Building Height	25'-0"	0	17'-10"	
Number of stories	2	0	1	
Front Setback	15'-0"		38'-4"	
Side Setback - Project North	7'-8"		8'-4"	
Side Setback - Project South	7'-8"		17'-0"	
Rear Setback	20'-0"		31'-4"	
Garage Door Setback	20'-0"		39'-4"	
Covered Parking Spaces	1	0	2	
Uncovered Parking Spaces	1	0	2	
Parking Space Size (Interior measurement)	9' x 20'	9' x 20'	9' x 20'	
Number of Driveways	1	0	1	
Driveway Width(s)			20'-0"	
Back-up Distance			38'-4"	
Eave Projection (Into Setback)	3' maximum	N.A.	3'	North side - 0 on south
Distances Between Eaves & Property Lines	3' minimum	N.A.	4'-8" North - 13'- 4" south	
Open Porch/Deck Projections	-	-	-	
Architectural Feature Projections	-	-	-	
Number & Category of Accessory Buildings	1	0	0	
Accessory Building Setbacks	-	-	-	
Distance between Buildings				
Accessory Building Heights	-	-	-	
Fence Heights	5'-0"	5'-0"	5'-0"	

**If project proposes demolition to an HRI structure, also indicate % of proposed demolition of the surface of a exterior walls facing a public street or streets, if applicable.*

[Rev. 01/14/14]



CITY OF PACIFIC GROVE

Community Development Department – Planning Division

300 Forest Avenue, Pacific Grove, CA 93950

T : 831.648.3183 • F : 831.648.3184 • www.ci.pg.ca.us/cdd

ARCHITECTURAL PERMIT 19-0217

FOR A 3,349 SF ONE-STORY, SINGLE-FAMILY RESIDENCE WITH AN ATTACHED TWO-CAR GARAGE. NO TREE REMOVAL IS PROPOSED.

FACTS

1. The subject site is located at 510 Evergreen Road (APN 006-422-022)
2. The subject site has a designation of Low Density to 5.4 DU/AC on the adopted City of Pacific Grove General Plan Land Use Map.
3. The subject site is located in the R-1-B-3 zoning district.
4. The property is 13,745 sf in size and is currently vacant. The property enjoys 77' of frontage along Evergreen Avenue and abuts the railroad right-of-way trail at the rear.
5. Although no trees are proposed to be removed, given the proximity of one (1) large oak tree on the south side proposed development, a Tree Resource Assessment (Ono, April 2019) was prepared. The recommendations for tree protection are included in the conditions of approval.
6. The property is not located in the coastal zone, in an archaeologically sensitive area, in the monarch butterfly habitat area, nor in the Area of Special Biological Significance (ASBS).
7. This project has been determined to be CEQA Exempt under CEQA Guidelines, Section 15303(a), Class 3, New Construction.

FINDINGS – PGM §23.70.060(f)

1. The architecture and general appearance of the completed project are compatible with the neighborhood;
2. The completed project will neither be detrimental to the orderly and harmonious development of the city nor impair the desirability of investment or occupation in the neighborhood; and
3. The board has been guided by and has made reference to applicable provisions of the architectural review guidelines in making its determinations on single-family residences.

The project architect consulted the Architectural Review Guidelines and has included several of the recommendations in the design of the proposed residence, including the location of the home set back from the street, the retention and protection of existing trees, low-profile massing and scale of the building, and exterior lighting that conforms to Guidelines 10-12.

PERMIT

Architectural Permit 19-0217 to allow the development of a 3,349 sf one-story, single-family residence with an attached two-car garage. No tree removal is proposed.

CONDITIONS OF APPROVAL

1. **Permit Expiration.** This permit will not expire or become void once passed by the Zoning Administrator, and all permit conditions of approval must be completed and executed within two (2) years of this permit approval date.
2. **Construction Compliance.** All construction must occur in strict compliance with the proposal as set forth in the application, subject to any special conditions of approval herein. Any deviation from approvals must be reviewed and approved by staff, and may require additional approvals.
3. **Terms and Conditions.** These terms and conditions shall run with the land, and it is the intention of the CDD Director and the Permittee to bind all future owners and possessors of the subject property to the terms and conditions, unless amended. Amendments to this permit may be achieved only if an application is made and approved, pursuant to the Zoning Code.

- 4. Conformance to Plans.** Changes to the site shall conform to approved plans entitled “Miller Residence” revised May 30, 2019, prepared by Fletcher + Hardoin, on file with the Community Development Department, with the exception of any subsequently approved changes.
- 5. During-Construction Pollution Prevention (a).** During construction, the developer shall employ storm water best management practices (BMPs) for erosion and sediment control, prevention of non-stormwater discharges, and implement good housekeeping and construction waste management practices to protect the storm drainage system and water quality as required by City Code Section 9.30.130(c), the City Phase II NPDES Permit, State Water Resources Control Board (SWRCB) Construction General Permit (CGP), and the Monterey Regional Storm Water Management Program (MRSWMP). Plans for during-construction storm water management and BMPs, such as a Storm Water Pollution Prevention Plan (SWPPP), shall be submitted to the City and subject to review and approval of the Public Works/Community Development Director and Building Official prior to issuance of a grading and/or building permit.
- 6. During-Construction Pollution Prevention (b).** Construction activities subject to BMP requirements shall continuously employ measures to control waste such as discarded building materials, concrete truck washout, chemicals, litter, and sanitary waste at the construction site that may cause adverse impacts to water quality, contamination, or unauthorized discharge of pollutants.
- 7. Tree Protection Standards During Construction.** Pursuant to Municipal Code Chapters 12.20 and 12.30, and the *Urban Forestry Standards*, all trees that are otherwise protected and will be impacted as a result of Development, both proposed for pruning or removal and where the development will impact the critical root zone of the tree are protected. Prior to issuance of the building permit, the Project Arborist shall review grading, drainage, utility, building and landscape plans to determine impacts to individual Trees, to determine required minimum Tree protection standards during construction and submit a report to the City Arborist for review and approval.
- 8. Additional Tree Pruning and Tree Protection Requirements.** In addition to condition of approval #5 (above), the applicant shall ensure that the recommendations in the Tree Assessment Report (Ono, April 2019), reviewed and approved by the City’s arborist and on file in the CDD office, are included and enforced during all grading and construction activities.
- 9. Archeology.** If at any time, human remains are identified, work must be halted and the Monterey County Coroner must be notified immediately. If the Coroner determines that the remains are likely to be Native American, the Native American Heritage Commission will be notified as required by law. The designated Most Likely Descendant will be authorized to provide recommendations for management of Native American human remains.
- 10. Building Plans.** All conditions of approval for the Planning permit(s) shall be printed on a full size sheet and included with the construction plan set submitted to the Building Department.

NOW, THEREFORE, BE IT RESOLVED BY THE ARCHITECTURAL REVIEW BOARD OF THE CITY OF PACIFIC GROVE:

1. The Board determines that each of the Findings set forth above is true and correct, and by this reference incorporates those Findings as an integral part of this Permit.
2. The Board authorizes Approval of Architectural Permit (AP) 19-0217 as conditioned and pursuant to a Class 3, Section 15303, CEQA categorical exemption for New Construction.
3. This permit shall become effective upon the expiration of the 10-day appeal period.
4. This permit shall not take effect until the owner acknowledges and agrees to all terms and conditions and agrees to conform to and comply with those terms and conditions.

PASSED AND ADOPTED AT A REGULAR MEETING OF THE ARCHITECTURAL REVIEW BOARD
OF THE CITY OF PACIFIC GROVE ON THE 11th DAY OF JUNE, 2019, BY THE FOLLOWING VOTE:

AYES:

NOES:

ABSENT:

ABSTENTIONS:

APPROVED:

Sarah Boyle, Chair

The undersigned hereby acknowledge and agree to the approved terms and conditions, and agree to fully conform to, and comply with, said terms and conditions.

Andy & Anne Marie Miller, Owners

Date



CITY OF PACIFIC GROVE

Community and Economic Development Department – Planning Division

300 Forest Avenue, Pacific Grove, CA 93950
T :: 831.648.3190 • F :: 831.648.3184 • www.ci.pg.ca.us/cdd

NOTICE OF EXEMPTION FROM CEQA

Property Address/Location: 510 Evergreen Avenue, Pacific Grove, CA 93950

File No. AP 19-0217 **APN** 006-422-022

Project Description: Architectural Permit (AP) 19-0217 for the construction of a new, one-story 3,349 sf residence. No trees are proposed to be removed.

ZC: R-1-B-3

GP: Residential Low Density

Lot Size: ± 13,475 sq. ft.

Applicant Name: Anne Marie & Andy Miller (Owner) Phone #: 831-915-0797
Mailing Address: 510 Evergreen Ave., Pacific Grove 93950
Email Address: annemariemiller1@gmail.com

Public Agency Approving Project: City of Pacific Grove, Monterey County, California

Exempt Status (Check One):

- Ministerial (Sec. 21080(b)(1):15268)
- Declared Emergency (Sec. 21080(b)(3): 15269(a))
- Emergency Project (Sec. 21080(b)(4); 15269(b)(c))
- Categorical Exemption
Type and Section Number: Class 3, Section 15303(a)
- Statutory Exemptions
Type and Section Number: _____
- Other: _____

Exemption Findings:

Class 3 consists of construction and location of limited numbers of new, small facilities or structures; installation of small new equipment and facilities in small structures; and the conversion of existing small structures from one use to another where only minor modifications are made in the exterior of the structure. The numbers of structures described in this section are the maximum allowable on any legal parcel. Examples of this exemption include but are not limited to:

(a) One single-family residence, or a second dwelling unit in a residential zone. In urbanized areas, up to three single-family residences may be constructed or converted under this exemption.

The exceptions to exemptions in Section 15300.2 of the CEQA Guidelines do apply to the Class 3 exemption, in general, but the proposed project does not fall under any of the parameters of the exceptions.

Contact: Alyson Hunter, Associate Planner

Contact Phone: (831) 648-3127

Signature:

Date: June 12, 2019

Tree Resource Assessment 510 Evergreen Road



Prepared for:

Andy and Anne Marie Miller

Prepared by:

Frank Ono
Urban Forester
Member Society of American Foresters #48004
ISA Certified Arborist #536
1213 Miles Avenue
Pacific Grove, CA 93950

April 30, 2019

Owner:

Andy and Anne Marie Miller
510 Evergreen Road
Pacific Grove, CA 93950

Architect:

Fletcher and Hardoin Architects
769 Pacific Street
Monterey, CA 93940

Forester and Arborist

Frank Ono, Member SAF #48004, ISA Certified Arborist #536
F.O. Consulting
1213 Miles Ave
Pacific Grove, CA 93950

SUMMARY

Development is proposed for this site known requiring excavation near existing oak trees on site. The project proposes approximately 5309 square ft. of building, attached garage, paving and decks for a single-family dwelling on a 13475 square ft. lot. There are three existing native trees; the trees are considered to be in fair or better condition both structurally and in health where excavation will be performed near two trees. At this time, it appears the project does not require removal or relocation of any tree. A tree assessment/arborist report has been prepared that identifies and addresses the affects that the project will have to the existing tree resources on site as well as a list of recommendations regarding trees on the project.

INTRODUCTION

This tree assessment/arborist report is prepared for Andy and Anne Marie Miller, the owners of the property located at 510 Evergreen Road, Pacific Grove CA by Frank Ono, Urban Forester and Certified Arborist (member Society of American Foresters #48004 and International Society of Arboriculture Certified Arborist #536) due to proposed construction on this property. The City of Pacific Grove Land Use Plan and City Zoning Ordinances identify Coast live oak as tree species requiring protection and special consideration for management. This report is prepared to independently assess potential effects of construction near these trees

ASSIGNMENT/SCOPE OF PROJECT

To ensure protection of the tree resources on site, the property owner, Andy and Marie Miller, have requested an assessment of the trees in proximity to proposed development areas. The findings of the report are to be documented in an arborist report to work in conjunction with other conditions for approval of the building permit application. To accomplish this assignment, the following tasks have been completed;

- Evaluate health, structure and preservation suitability for each tree within or adjacent (15 feet or less) to proposed development of trees greater than or equal to six diameter inches at 24 inches above grade.
- Review proposed building site plans as provided by Fletcher and Hardoin, Architects.
- Make recommendations for alternative methods and preconstruction treatments to facilitate tree retention.
- Create preservation specifications, as it relates to a Tree Location/Preservation Map.
- Determine the quantity of trees affected by construction as defined by the City of Pacific Grove Zoning Ordinance; as well as mitigation requirements for those to be affected.
- Document findings in the form of a report as required by the City of Pacific Grove Planning Department.

LIMITATIONS

This assignment is limited to the review of plans submitted to me dated March 7, 2019 by Fletcher and Hardoin Architects, to assess potential affects from construction to trees within or adjacent to construction activities. The assessment has been made of these plans specifically and no other plans were reviewed. Only minor grading and erosion details are discussed in this report as it relates to tree health. It is not the intent of this report to be a monetary valuation of the trees or provide risk assessment for any tree on this parcel, as any tree can fail at any time. No clinical diagnosis was performed on any pest or pathogen that may or may not be present. In addition to an inspection of the property, F.O. Consulting relied on information provided in the preparation of this report (such as, surveys, property boundaries, and property ownership) and must reasonably rely on the accuracy of the information provided. F.O. Consulting shall not be responsible for another's means, methods, techniques, schedules, sequence or' procedures, or for contractor safety or any other related programs; or for another's failure to complete the work in accordance with the plans and specifications.

PURPOSE AND GOAL

This Tree Assessment/Arborist report is prepared for this parcel due to proposed construction activities located at 510 Evergreen Road, Pacific Grove CA. The purpose of the assessment is to determine if any of the existing trees will be affected by the proposed project. Oak trees are considered protected trees as defined by the City of Pacific Grove Zoning Ordinances.

The goal of this report is to protect and maintain the Pacific Grove Urban forested resources through the adherence of development standards, which allow the protection, and maintenance of its forest resources. Furthermore it is the intended goal of this report to aid in planning to offset any potential effects of proposed development on the property while encouraging forest stability and sustainability, perpetuating the forested character of the property and the immediate vicinity.

SITE DESCRIPTION

- 1) Assessor's Parcel Number: 006-422-022-000.
- 2) Location: 510 Evergreen Road, Pacific Grove CA.
- 3) Parcel size: 13,457 square feet (1/3 acre).
- 4) Existing Land Use: The parcel is zoned for residential use (R-1-B-3).
- 5) Slope: The parcel is mildly sloped. Slopes range from 3% to 5%.
- 6) Soils: The parcel is located on soils classified by the Monterey County Soils report as Tangair fine sand, 2 to 9 percent slopes soil. According to the report, this is a gently sloping and moderately sloping soil on partly dissected marine terraces. It has the profile described as representative of the series. Runoff is slow, and the erosion hazard is slight. This soil is used mostly for woodland, homesites, and golf courses. It has low productivity for Monterey Pine (site index averages about 45 to 50). The seedling mortality and plant competition are severe. The windthrow hazard and equipment limitation are moderate.
- 7) Vegetation: The vegetation around site is composed historically of native Monterey pines and Oak understory with a planted redwood. The building site is disturbed but undeveloped with Oak as the remaining overstory with only grasses as understory.
- 8) Forest Condition and Health: The stand of trees and health are evaluated with the use of the residual trees combined with surrounding adjacent trees as a complete stand. The site is developed and surrounding forest canopy is fragmented. It is a closed cone forest in transition. The surrounding stand has a mixture of dominant Monterey pines (many of which are in poor health), on this site there are several Coast live oaks in fair or better condition.

BACKGROUND

The property owners are in the process of development of this site, however because the site has existing trees, the City of Pacific Grove has requested an assessment of potential tree impacts and to be documented for City review. The City requested attention to a 34" diameter oak on the south side of the proposed residence which is mentioned in this report. The city mentioned a 29" diameter oak in the northwest corner; however, this and a 34" diameter Oak tree noted in the site plan are not present. My understanding is these trees failed during past storms and were removed. Additionally, limbing of other nearby trees may be needed so activity is to be included in the assessment as well.

This assessment is prepared as a result of the requirement from the City Planning. The assessment focuses on incorporation of the preliminary location of site improvements coupled with consideration for the general goals of site improvement desired of the landowner. Proposed improvements assessed included preserving trees to the greatest extent feasible, maintaining the view shed and general aesthetic quality of the area while complying with City of Pacific Grove Municipal Codes. The study of individual trees determined treatments necessary to complete the project and meet the goals of the landowner.

OBSERVATIONS/DISCUSSION

The following list includes observations made while on site, and summarizes details discussed during this stage of the planning process.

- The site is undeveloped, there are no existing structures or hardscaped parking area. My understanding is the existing trees are to remain.
- Three Coast live oaks are located on the property, no others were found, and all are to be retained.
 - #462 is a 24" diameter mature oak, standing approximately 35-40 feet tall with an equal crown spread, is located in the front yard within the southeast property corner near Evergreen Road. The tree appears to be in fair or better condition.
 - #463 is a 14" diameter oak, standing approximately 25-30 feet tall with an equal crown spread, is located along the east border of the property. The tree is in fair or better condition.
 - #464 is a 34" diameter oak standing approximately 45-55 feet tall with an equal crown spread, also in fair or better condition.
- The project proposes to build the foundation adjacent tree #464 where excavation may encroach into the trees critical root zone. The development plans show two proposed elevated decks which will minimize potential harm to the root structure of this tree. Upon close inspection it appears construction is at a distance that encroachment, if at all, would be minimal and due to the soil type, so not many roots are expected to be encountered. The tree is expected to satisfactorily survive construction provided work near the tree is properly protected and work around the roots of the tree are monitored.
- The project also proposes to place an asphalt driveway near tree #463. This tree will need encroachment into its critical root zone. The tree is a deeply rooted tree and surface cut for the base rock is expected to be shallow. The tree may need several limbs pruned to allow clearance and to allow visibility for entrance and exit from the driveway to enter Evergreen Road.
- The property to the north of the proposed structure (52" diameter oak) has a large spreading crown. Several arching limbs from the tree may need to be crown reduced to allow proper clearance for the one story addition.

CONCLUSION/PROJECT ASSESSMENT

This proposal to build an addition to a single-family residence and expand the driveway and garage is planned to maintain the existing oak forested environment, allowing the forest to continue to exist and regenerate over time. Two trees which were identified as being present are no longer on this site (29" and 34" diameter Oaks) due to previous failures. No tree removal for this site is proposed or expected due to construction. All trees are expected to survive if properly protected and monitored. The remainder of the property contains tree cover, which will remain undisturbed. No watercourses are near the planned construction.

Short Term Affects

Site disturbance will occur during building construction. Short term site affects are confined to the construction envelope and immediate surroundings some trees in all likelihood will be trimmed and portions of the root systems reduced. The pruning of tree crowns above 30% and reduction of root area may have a short term effects on those trees treated, including a reduction of growth and potential limb dieback.

Long Term Affects

No significant long term affects to the forest ecosystem are anticipated as this site is surrounded by other developed residential sites. The project as proposed is not likely to significantly reduce the availability of wildlife habitat over the long term. Whenever construction activities take place near trees, there is the potential for trees to experience decline in the long term as well. The greatest attempt has been made to identify trees likely to experience decline for removal.

RECOMMENDATIONS

Tree Pruning

It is to be understood that the pruning of retained trees may be expected for this site, especially near building construction areas. Pruning will include trees with deadwood, minor structural defects or disease that must be compensated, and possibly vehicle or pedestrian clearance. Trees should be monitored on occasion for health and vigor after pruning. Should the health and vigor of any tree decline it will be treated as appropriately recommended by a certified arborist or qualified forester. Remedial pruning should occur prior to construction. Following construction, any above ground tree pruning/trimming should be delayed until one year after completion of construction. Following construction, a qualified arborist should monitor trees adjacent to the improvements area and if any decline in health that is attributable to the construction is noted, additional trees should be planted on the site.

Tree Protection

Prior to the commencement of construction activities:

- Trees located adjacent to construction areas shall be protected from damage by construction equipment by the use of temporary fencing and through wrapping of trunks with protective materials.

- Fencing shall consist of chain link, snowdrift, plastic mesh, hay bales, or field fence. Existing fencing may also be used.
- Fencing must not be to be attached to the tree. It shall be free standing or self-supporting so as not to damage trees. Fencing shall be rigidly supported and shall stand a minimum of height of four feet above grade.
- Soil compaction, parking of vehicles or heavy equipment, stockpiling of construction materials, and/or dumping of materials should not be allowed adjacent to trees on the property especially within fenced areas.
- Fenced areas and the trunk protection materials must remain in place during the entire construction period.

During grading and excavation activities:

- All trenching, grading or any other digging or soil removal that is expected to encounter tree roots will be monitored by a qualified arborist or forester to ensure against drilling or cutting into or through major roots.
- The project arborist should be on site during excavation activities to direct any minor field adjustments that may be needed.
- Trenching located adjacent to any tree should be done by hand where practical and any roots greater than 2-inches in diameter should be bridged or pruned appropriately.
- Any roots that must be cut should be cut by manually digging a trench and cutting exposed roots with a saw, vibrating knife, rock saw, narrow trencher with sharp blades, or other approved root pruning equipment.
- Any roots damaged during grading or excavation should be exposed to sound tissue and cut cleanly with a saw.

If at any time potentially significant roots are discovered:

- The arborist/forester will be authorized to halt excavation until appropriate mitigation measures are formulated and implemented.
- If significant roots are identified that must be removed that will destabilize or negatively affects the target trees negatively, the property owner will be notified immediately and a determination for removal will be assessed and made as required by law for treatment of the area that will not risk death decline or instability of the tree consistent with the implementation of appropriate construction design approaches to minimize affects, such as hand digging, bridging or tunneling under roots, etc..

Post construction treatment:

- A post construction inspection will be performed by the project arborist to determine remedial treatments if necessary.
- Soils shall remain or in the case of a grade change shall be reverted back at pre-construction levels.
- Invigoration in the form of deep root feeding or irrigation may be necessary and will determined at project end.
- Generally, a layer 4-6" layer (adjusted so that only 1" or less is placed against the tree trunk at existing grade) of mulch shall be applied to benefit the tree.

Best Management Practices to Observe (BMP)

The following best management practices must be adhered to:

- A) Tree service contractors will verify animal or bird nesting prior to tree work. If nesting activity of migratory birds are found, work must stop and a wildlife biologist consulted before commencing work (the typical bird nesting season ranges from February 22 to August 1).
- B) Do not deposit any fill around trees, which may compact soils and alter water and air relationships. Avoid depositing fill, parking equipment, or staging construction materials near existing trees. Covering and compacting soil around trees can alter water and air relationships with the roots. Fill placed within the drip line may encourage the development of oak root fungus (*Armillaria mellea*). As necessary, trees may be protected by boards, fencing or other materials to delineate protection zones.
- C) Pruning shall be conducted so as not to unnecessarily injure the tree. General-Principals of pruning include placing cuts immediately beyond the branch collar, making clean cuts by scoring the underside of the branch first, and for live oak, avoiding the period from February through May.
- D) Native live trees are not adapted to summer watering and may develop crown or root rot as a result. Do not regularly irrigate within the drip line of oaks. Native, locally adapted, drought resistant species are the most compatible with this goal.
- E) Root cutting should occur outside of the springtime. Late June and July would likely be the best. Pruning of the live crown should not occur February through May.
- F) Tree material greater than 3 inches in diameter remaining on site more than one month that is not cut and split into firewood must be covered with thick clear plastic that is dug in securely around the pile to discourage infestation and dispersion of bark beetles.
- G) A mulch layer up to approximately 4 inches deep should be applied to the ground under selected trees following construction. Only 1 to 2 inches of mulch should be applied within 1 to 2 feet of the trunk, and under no circumstances should any soil or mulch be placed against the root crown (base) of trees. The best source of mulch would be from chipped material generated on site.
- H) If trees along near the development are visibly declining in vigor, a Professional Forester or Certified Arborist should be contacted to inspect the site to recommend a course of action.

Report Prepared By:

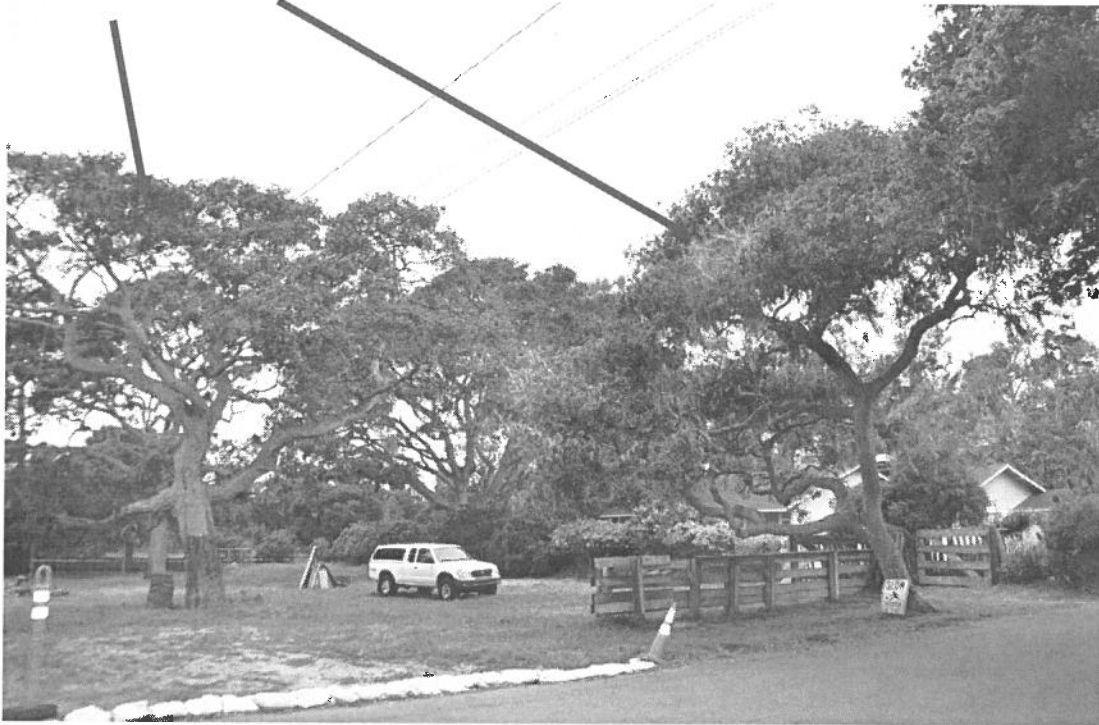


Frank Ono, SAF Forester #48004 and ISA Certified Arborist #536

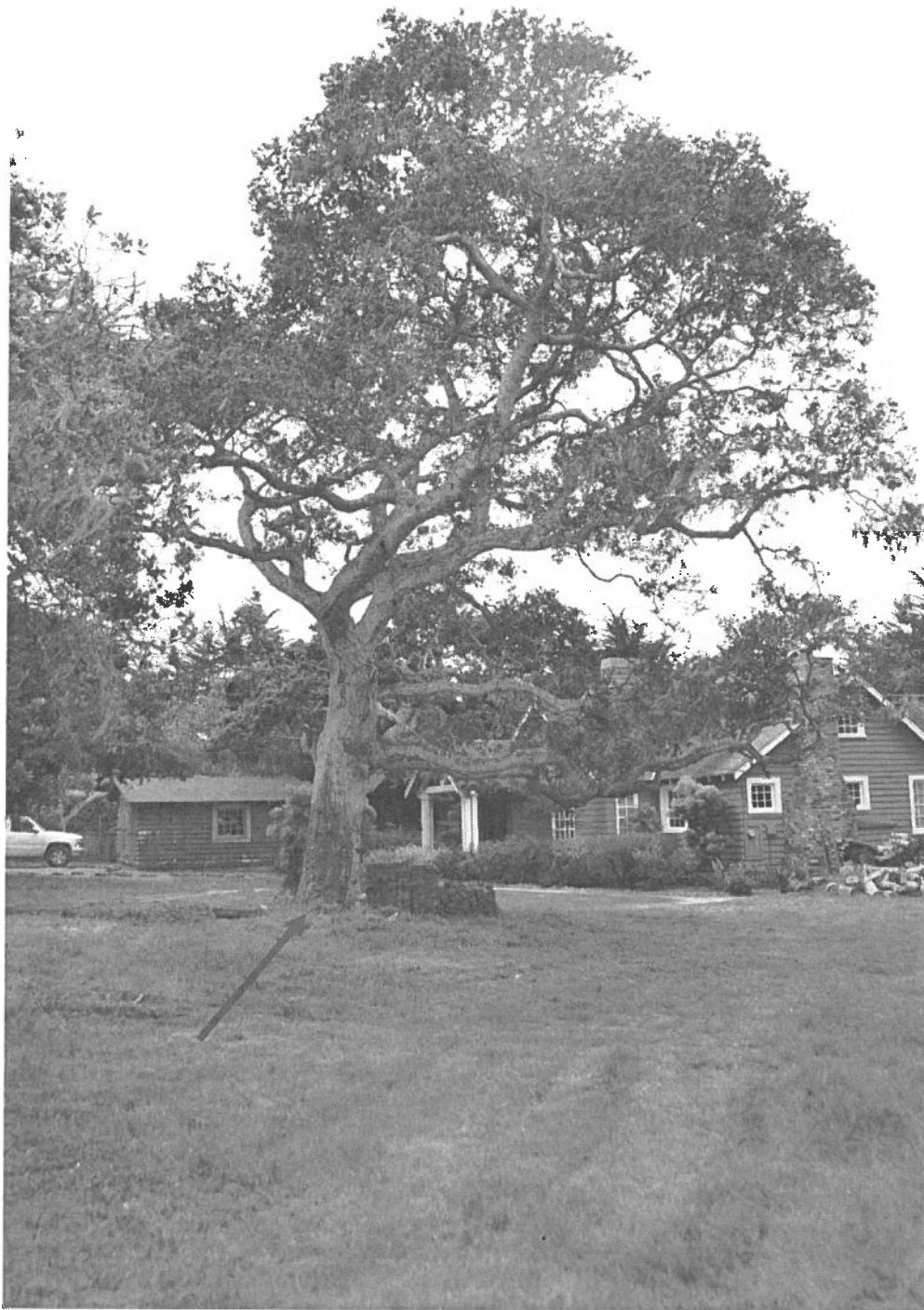
April 30, 2019

Date

PHOTOGRAPHS
Trees #462 and #463



Tree #463



Tree #462



Tree #464 and neighboring tree that may need some additional crown and limb reduction pruning



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TEL 831 - 373 - 5888 • FAX 831 - 373 - 5889
CONSULTANT:

PROJECT:
Miller Residence

Evergreen Road
Pacific Grove, CA

PROJECT NO. 1903

OWNER:
Andy & Anne Marie Miller
510 Evergreen Road
Pacific Grove, CA

SHEET TITLE:
SITE PLAN

SCALE: 1/8" = 1'-0"

DRAWN BY:
PRINT DATE:
DRAWING DATE: 3-7-2019
DATE ISSUED FOR CONSTRUCTION:

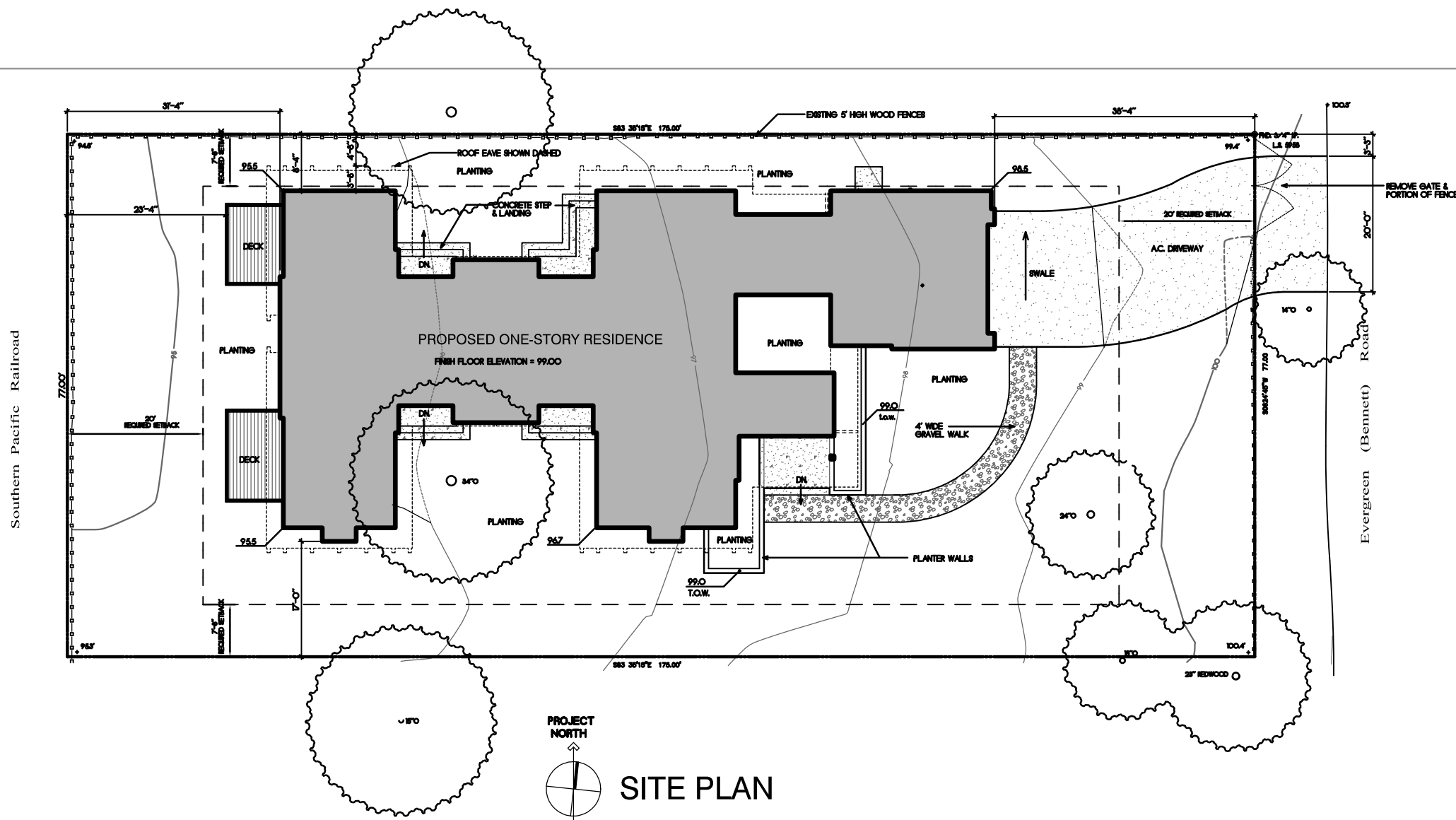
REVISIONS:
MAY 30, 2019 TREES

FILE: 1903 SITE PLAN VIEW: SITE
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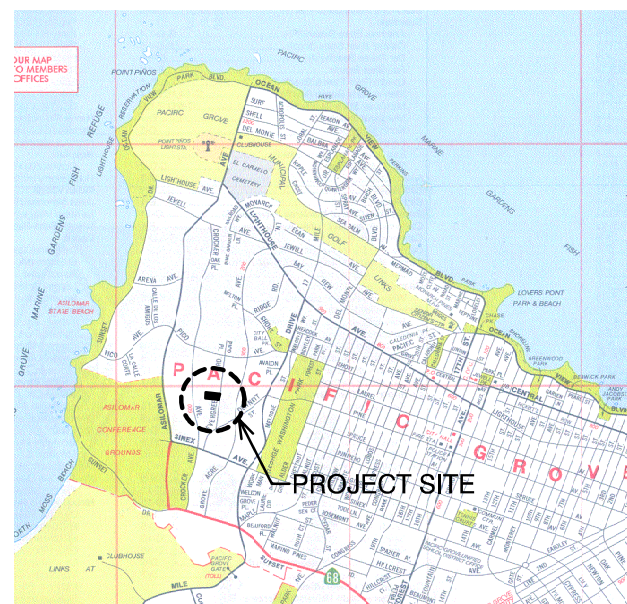
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A-0

SHEET ___ OF ___ SHEETS



VICINITY MAP



DATA

PROJECT DESCRIPTION
THE PROJECT CONSISTS OF CONSTRUCTION OF A NEW SINGLE-FAMILY RESIDENCE ON A VACANT LOT.

PROJECT LOCATION
EVERGREEN ROAD (ADDRESS NO. TO BE ASSIGNED)
PACIFIC GROVE, CALIFORNIA
006-422-022

APN
R-11-B-3

ZONING
TYPE V-S

TYPE CONSTRUCTION
TYPE V-S

SITE AREA
13,475 SF.

SITE COVERAGE
ALLOWED COVERAGE BUILDING + FAVING: 5,390 SF, 4020
6,085 SF, 4020
PROPOSED COVERAGE BUILDING: 3,349 SF, 02490
FAVING & DECK: 1960 SF
TOTAL: 5,309 SF, 029,404

FLOOR AREA SUMMARY:
MAX. ALLOWED GROSS FLOOR AREA: 4,417 SF, FROM ZONING CHART 2316.05C1
PROPOSED FLOOR AREA: 2,607 SF, RESIDENCE
542 SF, ATTACHED GARAGE
3,349 SF, TOTAL FLOOR AREA

PARKING:
2 COVERED (REQUIRED) 1 UNCOVERED & 1 UNCOVERED

GRADING QUANTITIES:
TOTAL VOLUME OF EXCAVATION: 5 CY
TOTAL VOLUME OF FILL: 5 CY

PROJECT DATA SHEET

Project Address: Evergreen Road Submittal Date:
Applicant(s): Dan Fletcher Permit Type(s) & No(s):

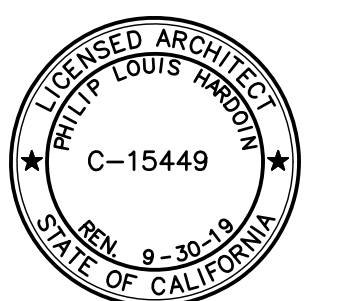
	Requirements Forfeited	Existing Condition	Proposed Condition	Notes
Zone District	R-1-E-3	R-1-E-3	R-1-E-3	No Change
Building Site Area	13,475 S.F.	13,475 S.F.	13,475 S.F.	No Change
Density (multi-family projects only)				
Building Coverage	5,390 S.F.	0 S.F.	3,349 S.F.	+ 3,349 S.F.
Site Coverage	8,085 S.F.	0 S.F.	5,309 S.F.	+ 5,309 S.F.
Gross Floor Area	4,417 S.F.	0 S.F.	2,809 S.F.	+ 2,809 S.F.
Square Footage not counted towards Gross Floor Area	-	0 S.F.	0 S.F.	No Change
Impermeable Surface Area Created and/or Replaced (EXCLUDES BLDGS)	-	0 S.F.	1,960 S.F.	+ 1,960 S.F. (INCLUDES DECKS)
Exterior Lateral Wall Length to be demolished in feet & % of total*	-	0	0	
Exterior Lateral Wall Length to be built	-	0	110.1 F.	
Building Height	25'-0"	0	7'-10"	
Number of stories	2	0	-	
Front Setback	15'-0"	0	38'-4"	
Side Setback - Project North	7'-8"	0	8'-4"	
Side Setback - Project South	7'-8"	0	7'-0"	
Rear Setback	20'-0"	0	31'-4"	
Garage Door Setback	20'-0"	0	39'-4"	
Covered Parking Spaces	1	0	2	
Uncovered Parking Spaces	1	0	2	
Parking Space Size (Interior measurement)	9' x 20'	9' x 20'	9' x 20'	
Number of Driveways	1	0	-	
Driveway Width(s)	-	-	20'-0"	
Back-up Distance	-	-	38'-4"	
Eave Projection (Into Setback)	3' maximum	N.A.	3'	North side - 0 on south
Distances Between Eaves & Property Lines	3' minimum	N.A.	4'-8" North - 13'-4" South	
Open Porch/Deck Projections	-	-	-	
Architectural Feature Projections	-	-	-	
Number & Category of Accessory Buildings	1	0	0	
Accessory Building Setbacks	-	-	-	
Distance between Buildings	-	-	-	
Accessory Building Heights	-	-	-	
Fence Heights	5'-0"	5'-0"	5'-0"	

INDEX

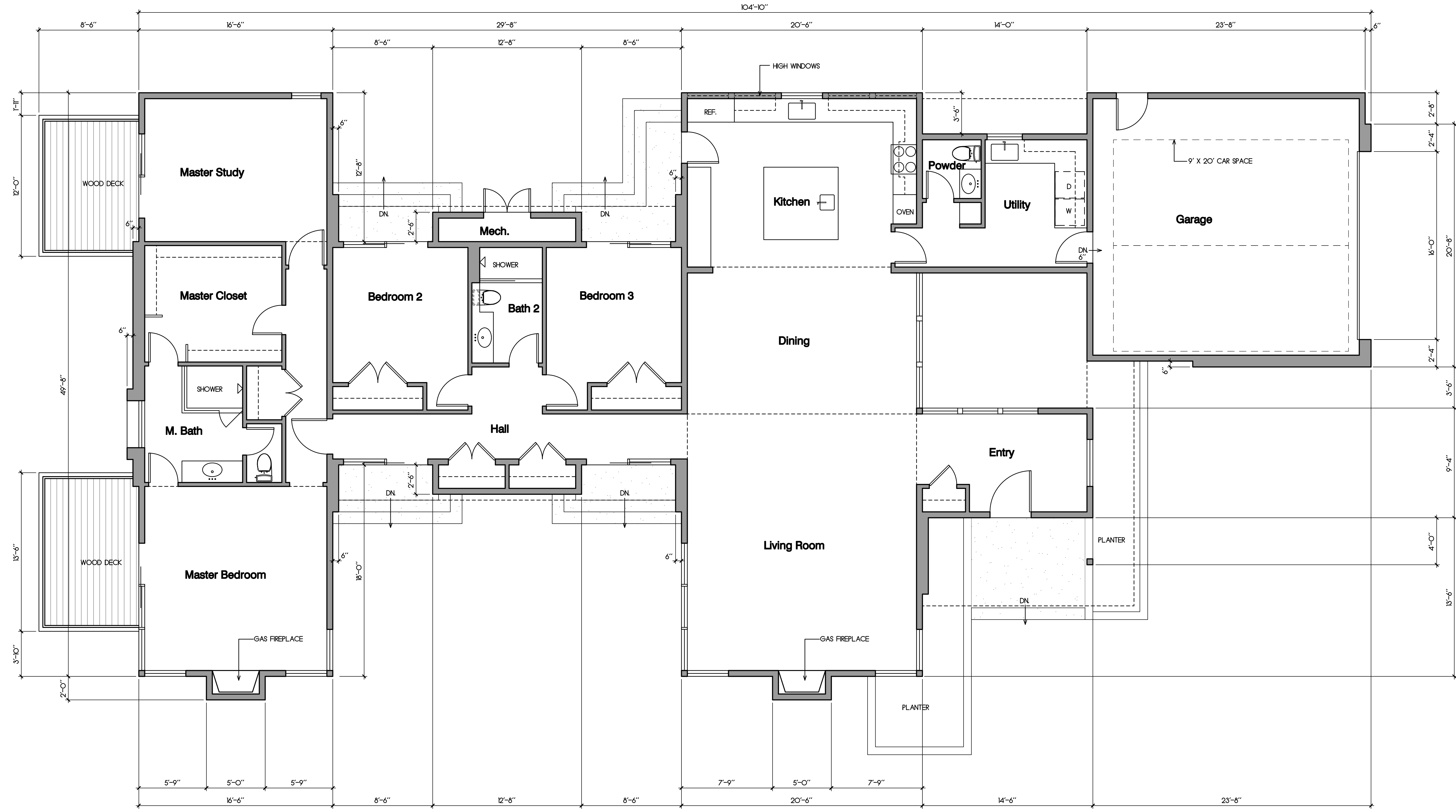
- A-0 COVER SHEET, SITE PLAN
- A-1 FLOOR PLAN
- A-2 ELEVATIONS
- A-3 ROOF PLAN
- A-4 COLOR BOARD
- L-1 LANDSCAPING PLAN
- L-2 IRRIGATION PLAN
- E-1 EXTERIOR LIGHTING PLAN



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TEL 831 - 373 - 5855 • FAX 831 - 373 - 5889
CONSULTANT:



PROJECT:
Miller Residence

Evergreen Road
Pacific Grove, CA
PROJECT NO: 1903

OWNER:
Andy & Anne Marie Miller
510 Evergreen Road
Pacific Grove, CA

SHEET TITLE:
FLOOR PLAN

SCALE: 1/4" = 1'-0"

DRAWN BY:
PRINT DATE:
DRAWING DATE: 3-7-2019
DATE ISSUED FOR CONSTRUCTION:

REVISIONS:

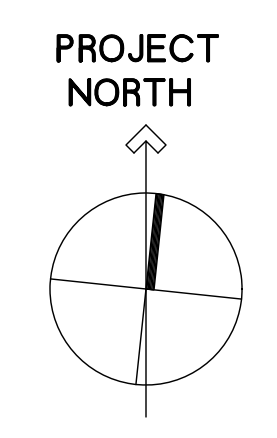
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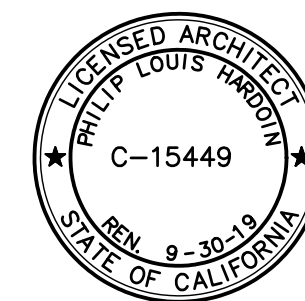
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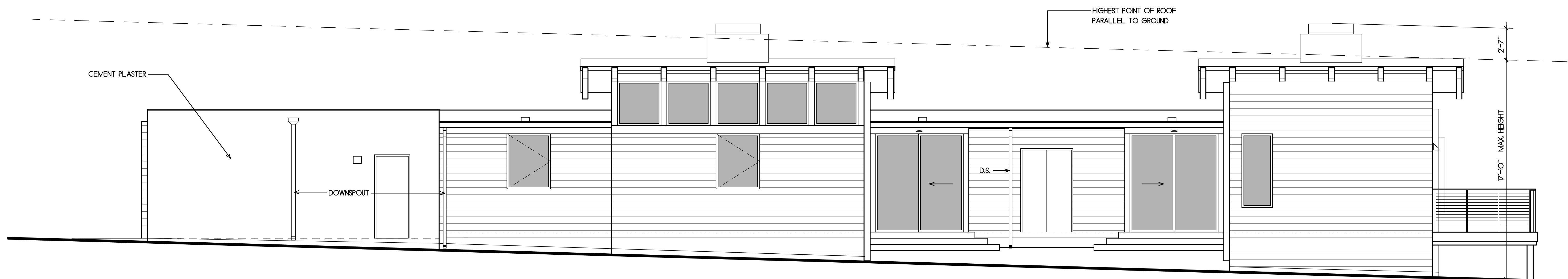
FLOOR PLAN



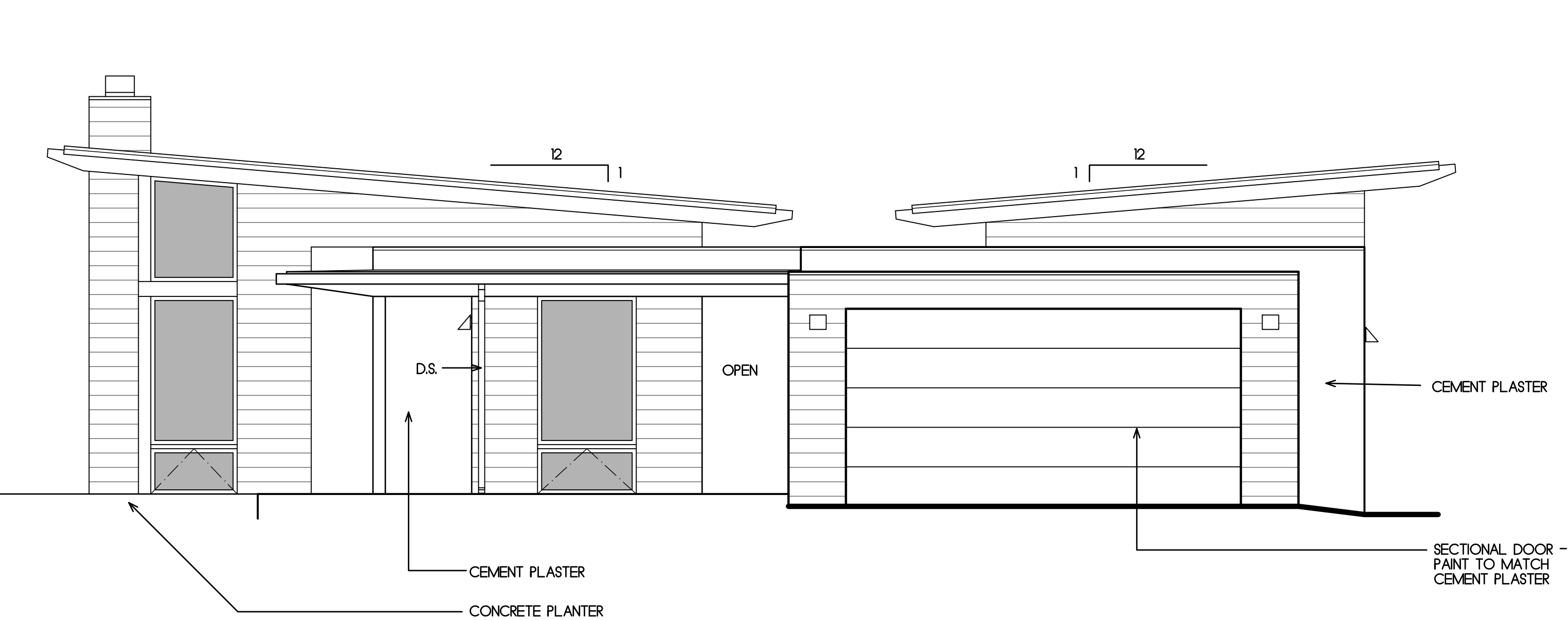
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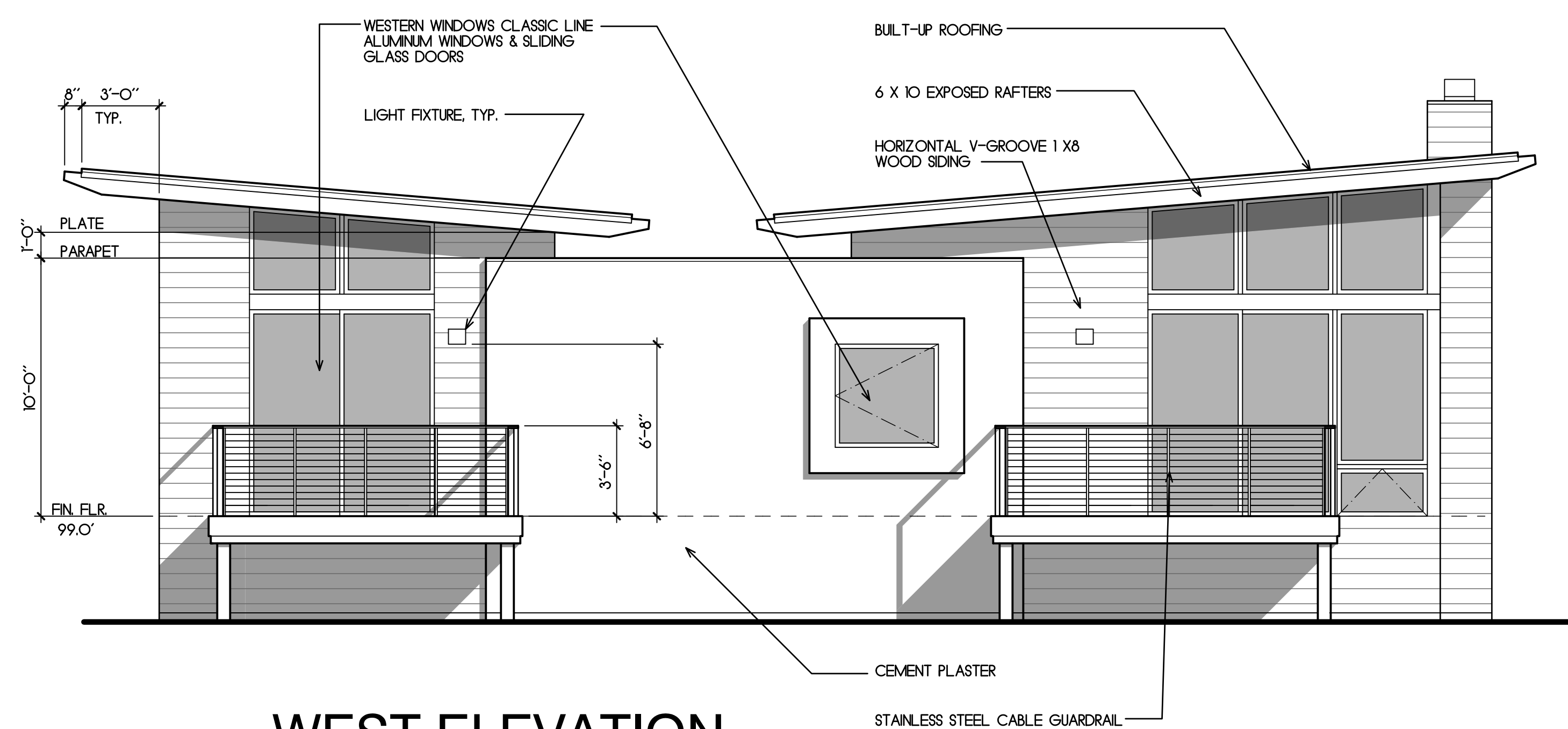
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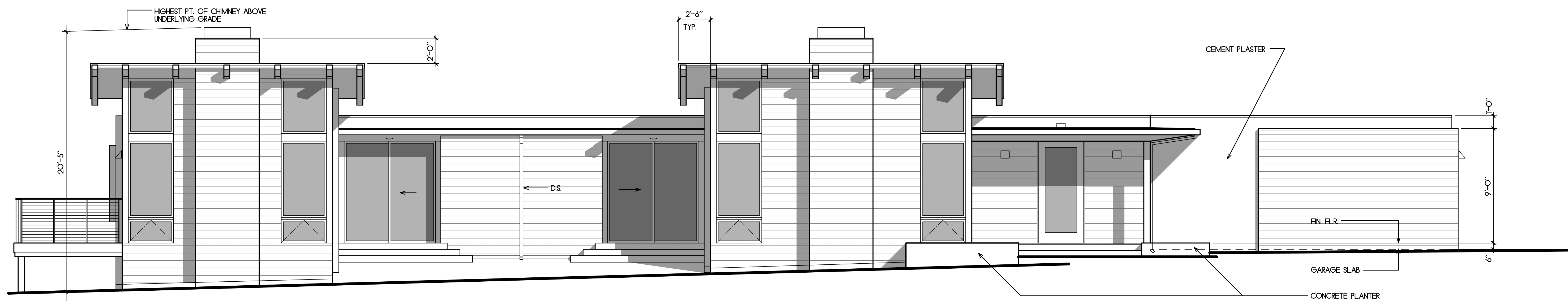
NORTH ELEVATION



EAST ELEVATION



WEST ELEVATION



SOUTH ELEVATION

PROJECT:
Miller Residence

Evergreen Road
Pacific Grove, CA
PROJECT NO. 1903

OWNER:
Andy & Anne Marie Miller
510 Evergreen Road
Pacific Grove, CA

SHEET TITLE:
EXT. ELEVATIONS

SCALE: 1/4" = 1'-0"

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DRAWING DATE: 3-7-2019
DATE ISSUED FOR CONSTRUCTION:

REVISIONS:

FILE: 1903 ELEVATIONS VIEW:

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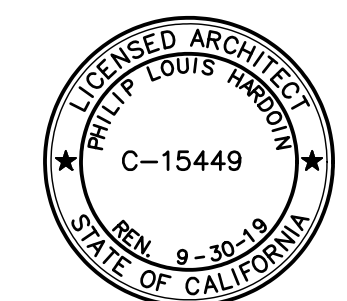
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A-2

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PROJECT:
Miller Residence

Evergreen Road
Pacific Grove, CA
PROJECT NO: 1903

OWNER:
Andy & Anne Marie Miller
510 Evergreen Road
Pacific Grove, CA

SHEET TITLE:
ROOF PLAN

SCALE: 1/4" = 1'-0"

DRAWN BY:
PRINT DATE:
DRAWING DATE: 3-7-2019
DATE ISSUED FOR CONSTRUCTION:

REVISIONS:

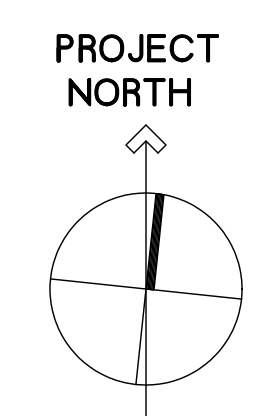
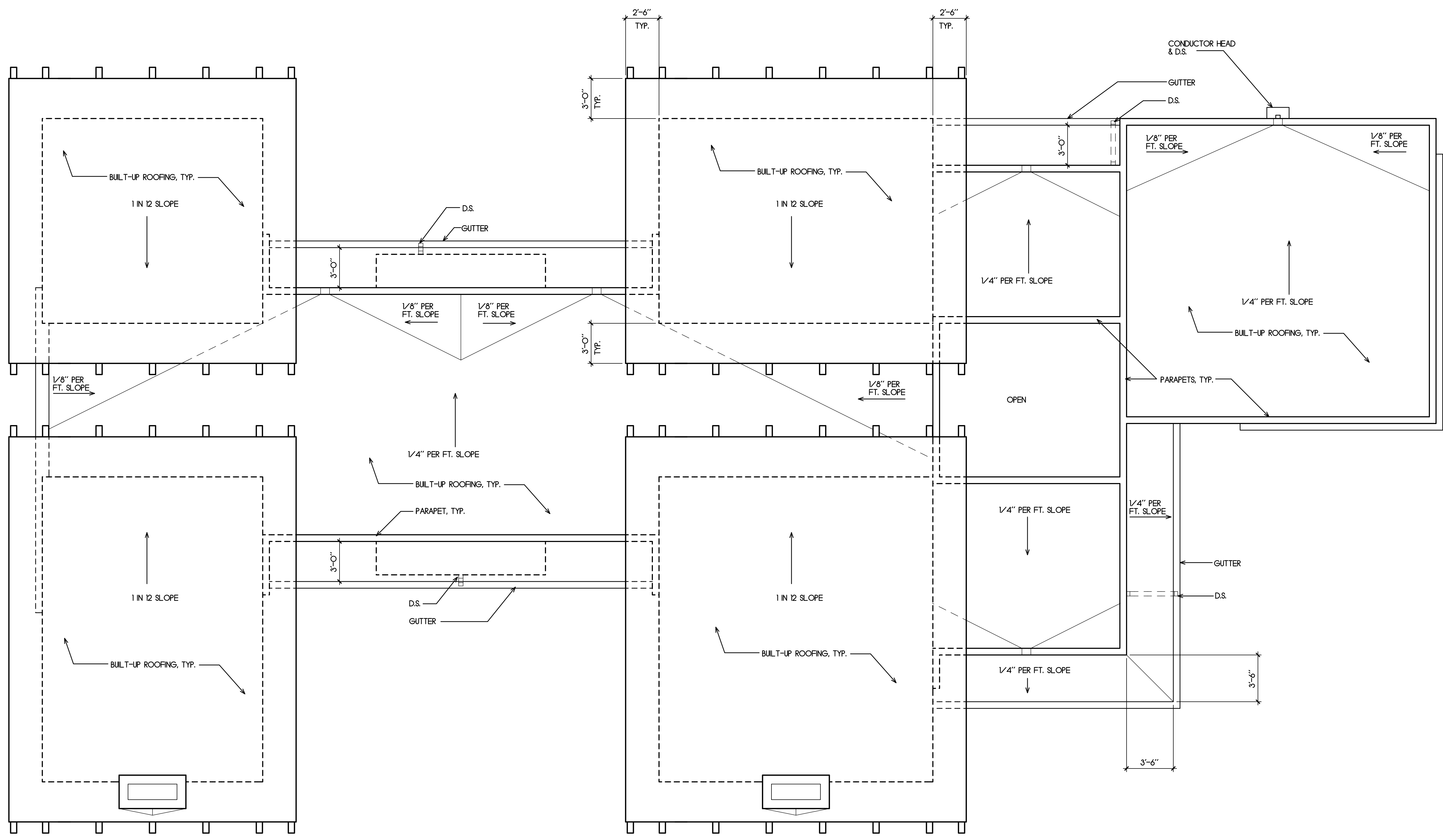
FILE: 1903 PLANS VIEW: ROOFPAN

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A-3

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ROOF PLAN



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CONSULTANT:



DOORS & WINDOWS

ALUMINUM (WESTERN WINDOWS CLASSIC LINE)
BRONZE ANODIZED FINISH

WOOD SIDING

1 X 8 HORIZ. V-GROOVE SHIPLAP
CABOTS DECKING STAIN 1444

WOOD TRIM

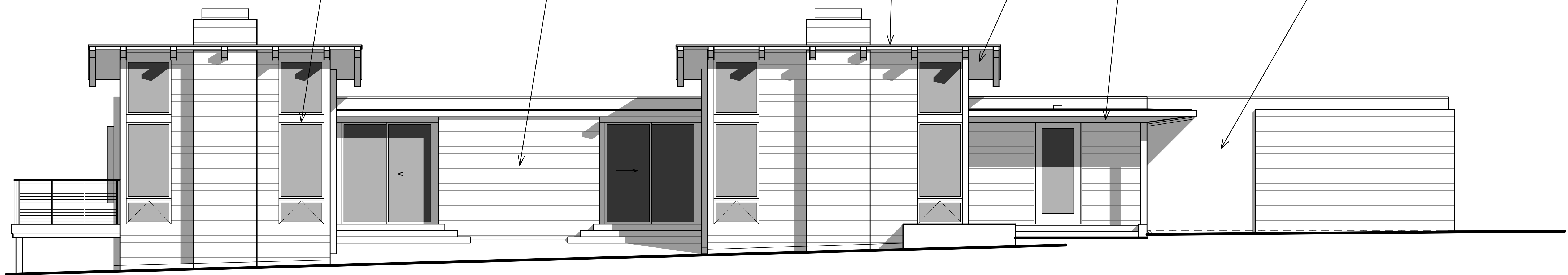
PAINT COLOR: KELLY MOORE 4905 "HUSH GRAY"

SOFFITS

1 X 6 T & G REDWOOD
PAINT COLOR: KELLY MOORE 4905

CEMENT PLASTER

PAINT COLOR: KELLY MOORE 5777 "CANNERY PARK"



SOUTH ELEVATION

PROJECT:

Miller Residence

Evergreen Road
Pacific Grove, CA

PROJECT NO: 1903

OWNER:

Andy & Anne Marie Miller
510 Evergreen Road
Pacific Grove, CA

SHEET TITLE:

COLOR BOARD

SCALE: 1/4" = 1'-0"

DRAWN BY:

PRINT DATE:

DRAWING DATE:

DATE ISSUED FOR CONSTRUCTION:

REVISIONS:

FILE:

VIEW:

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SHEET NUMBER:

A-4

SHEET _____ OF _____ SHEETS

LANDSCAPE LEGEND

- 1** ZONE 1: NORTH PLANTING
- 2** ZONE 2: WEST PLANTING
- 3** ZONE 3: SOUTH PLANTING
- 4** ZONE 4: EAST PLANTING

This Conceptual Landscape Plan proposes to incorporate several low impact site design measures by directing roof runoff onto the westerly landscaped areas safely away from building foundations within the low elevations of the property in Zone 2. In addition, all runoff from hardscape areas and driveway surfaces will be directed to landscape vegetated areas away from building foundations.

This Conceptual Landscape Planting Plan adheres to the City of Pacific Grove plant use and irrigation requirements and is designed for minimal water use, deer resistance and low seasonal maintenance while using native Californian plant materials suited for the coastal climate and sandy, alkaline soils found on site.



ZONE 1: NORTH ENTRY PLANTING
This zone incorporates shade tolerant species with similar low-water use requirements. Simplified, drought tolerant palette of plants to add visual interest and highlight architecture using textural arrangements.

Botanical Name	Common Name	Qty	Size
GE - Garrya elliptica	Silk Tassel	4	15-gal
HA - Heteromeles arbutifolia	Toyon	4	15-gal
ID - Iris douglasiana	Douglas Iris	6	1-gal
QA - Quercus agrifolia	Coast Live Oak	1	15-gal
RS - Ribes sanguineum 'Claremont'	Pink Flowered Currant	3	15-gal

ZONE 2: WEST PLANTING
Drought tolerant screen plantings sparsely planted to allow light to filter through backyard, understory iris for color interest, and back deck plantings for visual interest that connect with entry landscape materials.

Botanical Name	Common Name	Qty	Size
CN - Calamagrostis nutkaensis	Pacific Reed Grass	5	5-gal
GE - Garrya elliptica	Silk Tassel	4	15-gal
HA - Heteromeles arbutifolia	Toyon	4	15-gal
ID - Iris douglasiana	Douglas Iris	7	1-gal
RO - Rosmarinus officinalis 'Blue Spires'	Upright Rosemary	10	5-gal
RI - Rhus integrifolia	Lemonade Berry	4	15gal

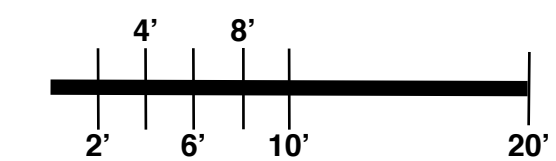
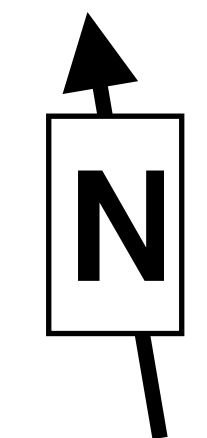
ZONE 3: SOUTH PLANTING
Screen planting with drought tolerant Saratoga Laurel shrubs and understory native iris planting under native coast live oak tree.

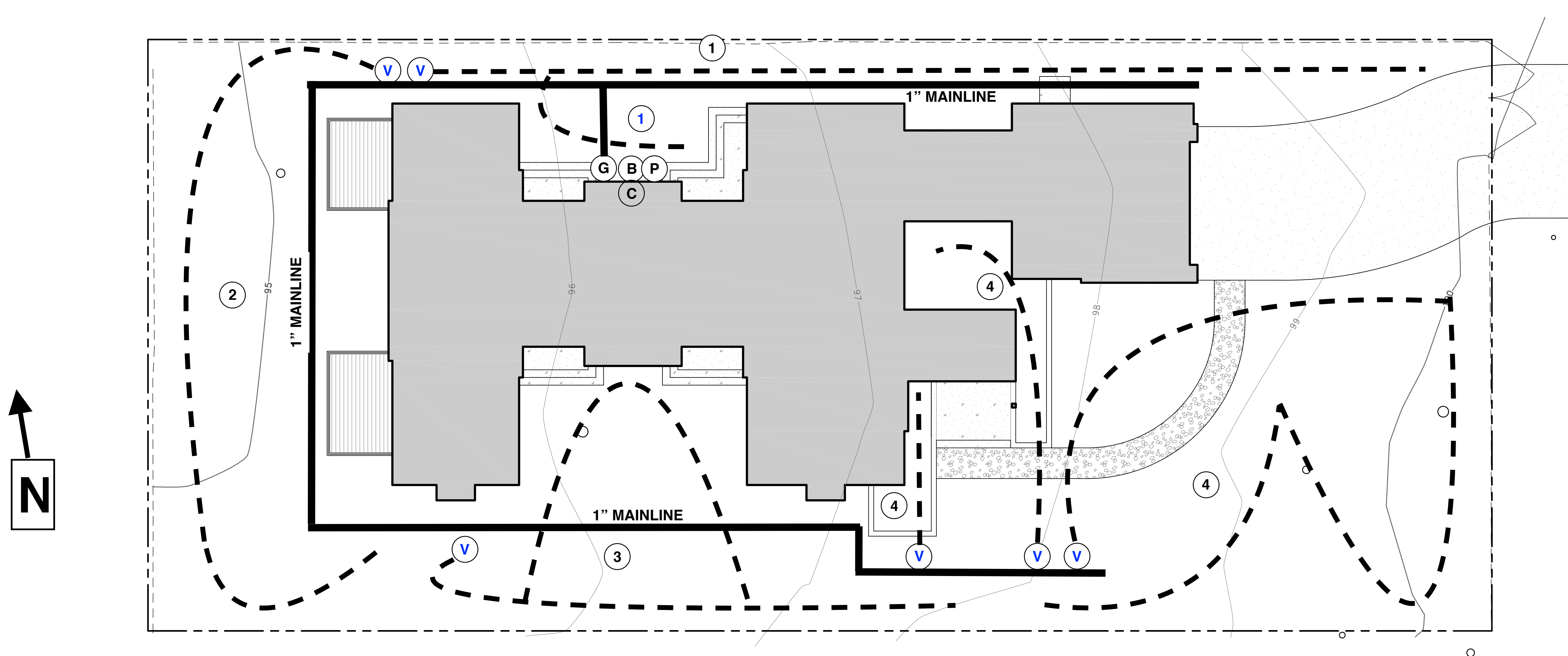
Botanical Name	Common Name	Qty	Size
GE - Garrya elliptica	Silk Tassel	6	15-gal
HA - Heteromeles arbutifolia	Toyon	1	15-gal
QA - Quercus agrifolia	Coast Live Oak	1	15-gal
RS - Ribes sanguineum 'Claremont'	Pink Flowered Currant	5	15-gal
RO - Rosmarinus officinalis 'Tuscan Blue'	Upright Rosemary	2	5-gal

- GENERAL NOTES**
1. Decompaction of planting bed soils will be required in order to improve plant performance. Decompacted soils should be blended with appropriate planting amendment. Blending and decompaction should occur at a minimum depth of 8" where feasible. Proceed with caution within critical root zones of existing pine and oak trees, avoid impacts to tree roots.
 2. Soil levels around the pathways will need supplementing in order to improve the transitions from hardscape to planting beds. Soil levels need to be raised or lowered around all hardscape edge transitions to match the height of the hardscape walkways.
 3. Organic soil amendment should be added to supplement native alkaline soils in areas of planting.
 4. All exposed soil areas and pathways to receive an organic, natural colored, wood chip mulching at a depth of 3" to all zones to improve water retention in the soil and reduce weed germination.
 5. Water basins should be formed for all plantings to ensure deep-root watering during drip irrigation applications.
 6. Rainbird ESP-SMT smart irrigation controller will be installed to maximize water efficiency.
 7. Immediately following the placement of plants in the soil, watering shall occur so that the root ball and backfill material is thoroughly wet.
 8. Remove any invasive exotic species and/or noxious plants in the existing landscape areas.
 9. Maintenance of the plants shall include periodic inspection for general health and retaining a weed free environment.
 10. Seasonal pruning will be required to maintain the health of the plant material.
 11. Landscape Designer to field place plant locations prior to planting.

ZONE 4: EAST PLANTING
Shade and sun tolerant perennial species with low-use water requirements used for this mixed entry zone, using textural plantings that blend with the architectural elements to enhance this private zone.

Botanical Name	Common Name	Qty	Size
AP - Acer palmatum	Japanese Maple	1	15gal
AE - Arctostaphylos edmundsii 'Carmel Sur'	Carmel Sur Manzanita	8	5-gal
CN - Calamagrostis nutkaensis	Pacific Reed Grass	8	5-gal
HA - Heteromeles arbutifolia	Toyon	3	15-gal
ID - Iris douglasiana	Douglas Iris	11	1-gal
QA - Quercus agrifolia	Coast Live Oak	1	15-gal
RO - Rosmarinus officinalis 'Tuscan Blue'	Upright Rosemary	10	5-gal





Estimated Total Water Allowance (ETWA)

ETWA = (ETo) (0.62) (PF x HA + SLA)
IE

ETWA = Estimated Total Water Allowance
ETo = Reference Evapotranspiration (inches)
PF = Plant Factor from WUCOLS
HA = Hydrozone Area (high, medium, and low water use)
SLA = Special Landscape Area (square feet)
0.62 = Conversion Factor
IE = Irrigation Efficiency (minimum 0.71)

Hydrozone	Plant Water Use Type	Plant Factor (PF)	Hydrozone Area (HA)	PF X HA
1 - mixed shrubs	Low	0.3	320	96.0
2 - native shrubs	Low	0.3	400	120.0
3 - mixed shrubs	Low	0.3	288	86.4
4 - mixed shrubs	Low	0.3	444	133.2

ETo = 39
PF x HA = 435.6

ETWA = (39) (0.62) (435.6) ÷ 0.71

ETWA = 14,835 gallons per year

ETWA = 0.046 acre-feet/year

Monterey Peninsula Water Management District – District Rule 24

Maximum Applied Water Allowance (MAWA)

MAWA = (ETo) (ETadj) (LA) (0.623)
325,851

MAWA = Maximum Applied Water Allowance (Acre-feet/year)
ETo = Reference Evapotranspiration (inches per year)
ETadj = Target ET Adjustment Factor = KL/IE
LA = Landscape Area of Site (square feet)
0.623 = Conversion Factor for Gallons
325,851 = Gallons-per-Acre-Foot
KL = Average Landscape Coefficient
IE = Target Irrigation Efficiency

ETo = 39"
ETadj = 0.55 (specified by the California Model Ordinance –AB325)
LA = 1,452

MAWA = 39 x 0.55 x 1,452 x 0.623
325,851

MAWA = 0.059 acre-feet/year

IRRIGATION PLAN LEGEND

P POINT OF CONNECTION

B 1" WILKINS BACKFLOW DEVICE
(Wilkins 950XLT-100, 1" DCV Backflow Preventer)

C AUTOMATED CONTROLLER
(Irritrol Rain Dial ®-R Series)

G GATE VALVE

V 3/4" RAINBIRD DRIP IRRIGATION CONTROL ZONE KIT XCZ-LF-075
(Low Flow Valve 3/4" with 30 PSI low flow pressure regulator, and RBY filter)

--- 1/2" DRIP IRRIGATION ZONE
(1/2" poly distribution tubing plant specific spot emitters)

1. Zone 1: NORTH ENTRY PLANTING (320 SF)
Permanent drip irrigation will be installed in the zones listed above.

- Control valve, pressure regulator, flush-out valve, and air relief valve on the irrigation zone.
- Each 1-gallon plant shall receive one 1-g.p.h. emitter.
- Each 15-gallon plant shall receive two 2-g.p.h. emitters.
- Preliminary irrigation schedule for dry periods: Wednesday + Saturday @ 30 minutes / day.
- 0.90 GPM output requirement.

3. Zone 3: SOUTH PLANTING (288 SF)
Permanent drip irrigation will be installed in the zones listed above.

- Control valve, pressure regulator, flush-out valve, and air relief valve on the irrigation zone.
- Each 5-gallon plant shall receive two 1-g.p.h. emitters.
- Each 15-gallon shrub shall receive two 2-g.p.h. emitters.
- Preliminary irrigation schedule for dry periods: Wednesday + Saturday @ 30 minutes / day.
- 0.93 GPM output requirement.

2. Zone 2: WEST PLANTING (400 SF)
Permanent drip irrigation will be installed in the zones listed above.

- Control valve, pressure regulator, flush-out valve, and air relief valve on the irrigation zone.
- Each 1-gallon plant shall receive one 1-g.p.h. emitter.
- Each 5-gallon plant shall receive two 1-g.p.h. emitters.
- Each 15-gallon plant shall receive two 2-g.p.h. emitters.
- Preliminary irrigation schedule for dry periods: Wednesday + Saturday @ 30 minutes / day.
- 1.42 GPM output requirement.

4. Zone 4: EAST PLANTING (444 SF)
Permanent drip irrigation will be installed in the zones listed above.

- Control valve, pressure regulator, flush-out valve, and air relief valve on the irrigation zone.
- Each 1-gallon plant shall receive one 1-g.p.h. emitter.
- Each 5-gallon plant shall receive two 1-g.p.h. emitters.
- Each 15-gallon shrub shall receive two 2-g.p.h. emitters.
- Preliminary irrigation schedule for dry periods: Wednesday + Saturday @ 30 minutes / day.
- 1.38 GPM output requirement.

IRRIGATION ZONES LEGEND

1 Zone 1: NORTH ENTRY PLANTING
(one – 3/4" valve, drip emitters, 30 PSI, 2.46 GPM)

2 Zone 2: WEST PLANTING
(one – 3/4" valve, drip emitters, 30 PSI, 1.18 GPM)

3 Zone 3: SOUTH PLANTING
(one – 3/4" valve, drip emitters, 30 PSI, 1.03 GPM)

4 Zone 4: EAST PLANTING
(three – 3/4" valve, drip emitters, 30 PSI, 0.88 GPM)

IRRIGATION NOTES

The irrigation drawings are diagrammatic and indicative of the work to be installed. Additional offsets, fittings, sleeves, conduit, and other items may be required.

IRRIGATION COORDINATION:
It is the irrigation contractor's responsibility to coordinate work with other relevant contractors for the proper installation for the proper installation of pipe, conduit or sleeves through buildings or walls and the testing of the irrigation system.

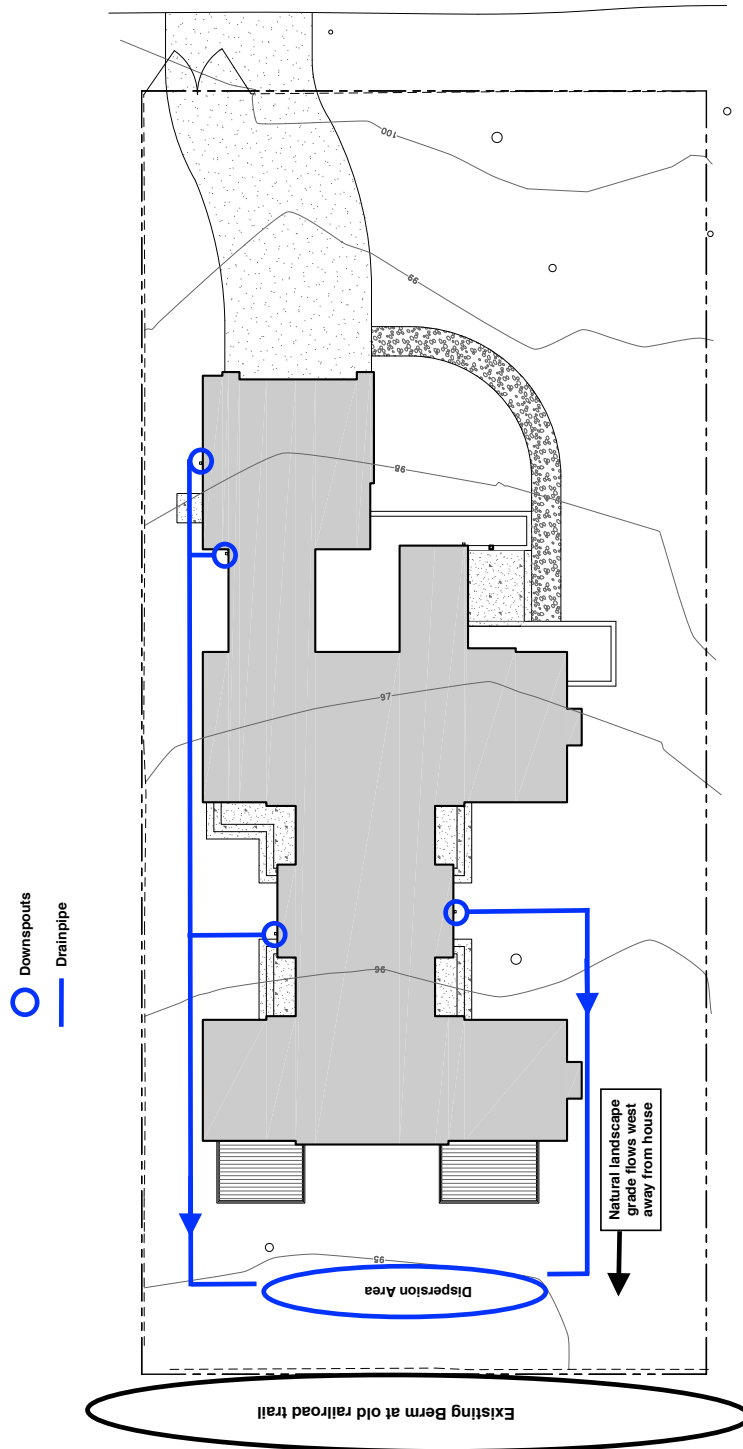
SYSTEM PRESSURE VERIFICATION:
The irrigation system has been designed to a maximum water pressure requirement of 10GPM at 40 PSI Static Pressure at the irrigation point of connection. Verify water pressure prior to construction. An as-built plan should be prepared at the completion of the irrigation installation, showing the locations of all irrigation elements and number of zones to the maintenance contractor.

SYSTEM PROGRAMMING:
It is the responsibility of the landscape maintenance contractor (and/or owner) to program the irrigation controller to provide the minimum amount of water required to sustain good plant health. This includes programming adjustments for seasonal weather changes, plant material, water requirements, mounds and slopes, sun, shade and wind exposures. The specified zone-specific Rain Bird ESP-SMT controller factors in location, soil type, landscape slope, plant type, sun exposure, sprinkler type and root depth requirements.

SYSTEM MAINTENANCE:
Check filters bi-monthly. Flush drip lines every year by uncapping flush-out valve and manually opening valve for 3 minutes.

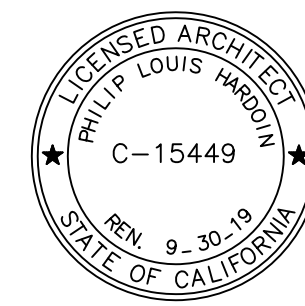
GENERAL NOTES

1. All work performed shall conform to the standards and specifications of local and state jurisdictions. Contractors shall obtain all necessary permits, inspections, and approvals required to implement the landscape plan.
2. The landscape contractor is responsible for verifying the locations of underground utility lines in the field prior to any excavation.
3. No plant species listed as problematic and/or invasive by the California Native Plant Society, the California Invasive Plant Council, the State of California, or the U.S. Federal Government shall be used within the landscape.
4. Each irrigation zone shall be controlled at the point of connection using an automated controller.
5. Irrigation schedules and timing shall be in accordance with seasonal changes and ground moisture.
6. Irrigation applications shall be deep and infrequent with soil allowed to go dry between waterings.





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CONSULTANT:

PROJECT:
Miller Residence

Evergreen Road
Pacific Grove, CA

PROJECT NO: 1903

OWNER:
Andy & Anne-Marie Miller
510 Evergreen Road,
Pacific Grove, CA 93950

SHEET TITLE:
EXT. LIGHTING PLAN

SCALE: 1/8" = 1'-0"

DRAWN BY: D. HOWE
PRINT DATE: PRINT DATE
DRAWING DATE: 3-7-2019
DATE ISSUED FOR CONSTRUCTION:
ISSUE DATE

REVISIONS:

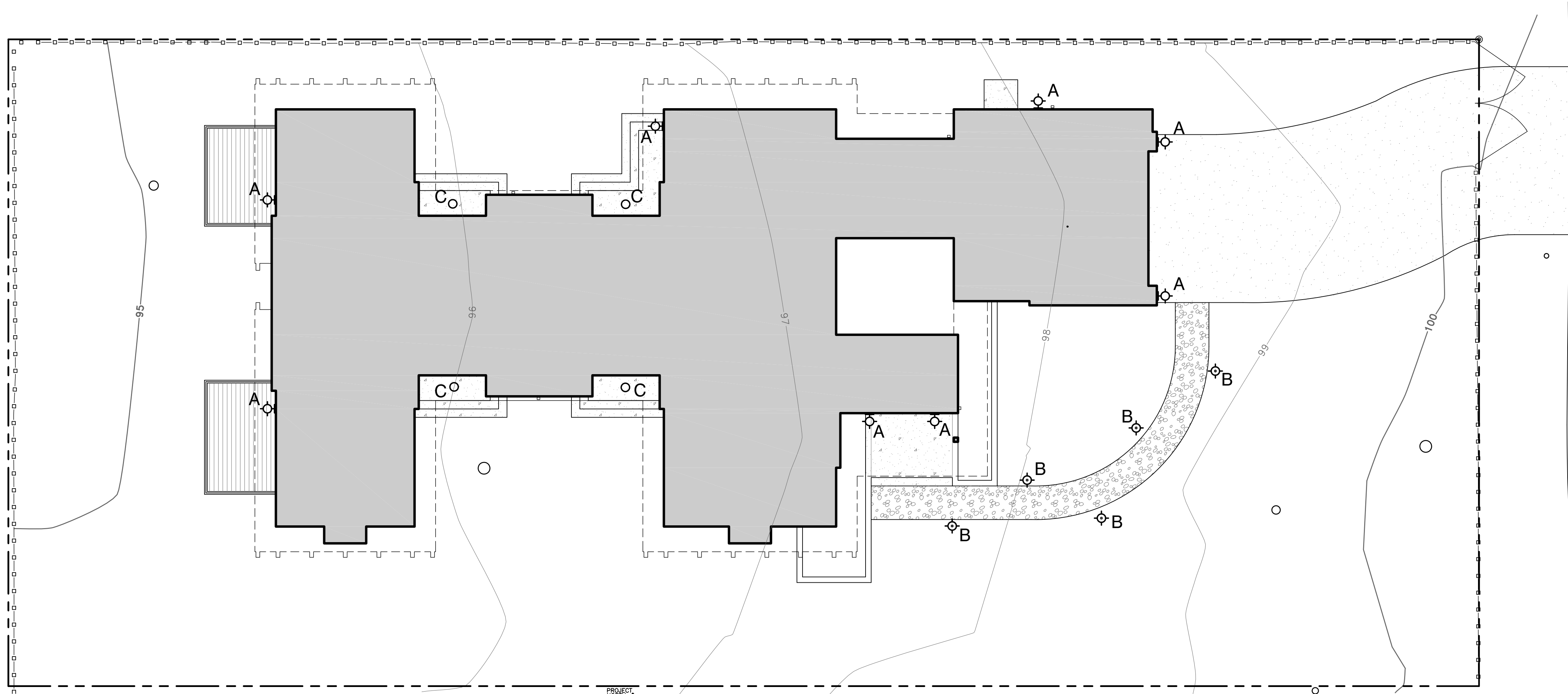
FILE: VIEW:

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SHEET NUMBER:

E-1

SHEET _____ OF _____ SHEETS

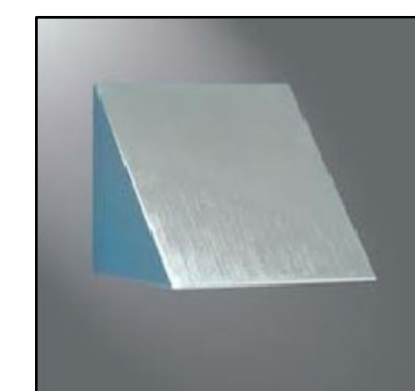


SITE LIGHTING PLAN

LIGHT FIXTURE SCHEDULE

SYMBOL	MOUNTING	DESCRIPTION	LAMPS
A	EXTERIOR WALL-MOUNTED	COOPER LIGHTING 682-WP 8" FLOATING WEDGE, BRONZE COLOR	15.5W LED
B	EXTERIOR GROUND-MOUNTED	B-K LIGHTING, SHALLOW HOUSING DR2 PATHWAY LIGHT, BRONZE COLOR	8W LED
C	RECESSED DOWNLIGHT	HALO 4" TUSCAN BRONZE TRIM WITH H457ATEIO HOUSING	HALO EL4O583O LED

LIGHTING TYPES



A



B



C

LEGEND

- NEW WALL SCONCE
- NEW RECESSED DOWNLIGHT
- GROUND-MOUNTED PATH LIGHT